
MEMORANDUM



TO: Mayor & City Council
FROM: Mary Lou DeWitt, Comm. Dev. Zoning Specialist
SUBJECT: **Crystal Cabinet Works Addition Site Plan Review**
DATE: September 5th, 2024

This is informational only – no action required

Background:

Rice Companies, applicant had submitted a Site Plan Review application for the construction of a 32,500 square foot warehouse addition to the north end of their current building at Crystal Cabinet Works, Inc. The site is located at 1100 Crystal Drive in the MN-1, Industrial District.

Analysis:

The addition will connect to the existing north wall of the current building to provide more warehouse space. No additional employees will be hired where added parking is not needed.

Zoning:

The intent of the MN-1 Industrial District is to provide a district for the development and operation of manufacturing, storage, and distribution type business. This district shall encourage the development of industrial uses which promote high-tech quality uses more likely to be compatible with existing uses and which shall be free of hazardous or objectionable elements such as noises, odor, dust, smoke, glare, or other pollutants.

Permitted Uses:

In the MN-1 Industrial District, unless otherwise provided herein, no building or land shall be used and no building shall be erected, converted, or structurally altered, except for one or more of the following, as well as similar uses: Warehousing is a permitted use.

Yard Requirements for MN - 1 District

	All Uses
A. Lot area minimum	12,500 sq ft
B. Lot width minimum feet	---
C. Front yard minimum	40 feet ³
D. Side yard minimum	20 feet
E. Street side yard	30 feet
F. Rear yard minimum	20 feet ¹
G. Maximum height	30 feet ²

Landscaping:

Modification or expansion of a building or improvements to a site that affect greater than 10% of the existing non-residential structure/site, and/or when there is a change in land use. Landscaping requirements shall be applied to those portions of the site that are directly affected by

the proposed improvements, or change in land use, as determined by the Zoning Administrator. In all cases appropriate screening and buffering shall be provided for the entire site.

The plans show the west and north side of the addition will have a break down of 8,315 square feet to be sod; 20,970 square feet to be bluegrass seed mix and the wetland area of 12,085 square feet be emergent wetland seed mix. On the northeast corner of the site by the existing pond will be overstory deciduous trees. Three of those will be Green Mountain Sugar Maples and two will be Matador Freeman Maples. The grass and weeds will be maintained to a minimum of 6" inches in height.

Fire Department:

The plans show there will be a sprinkler system installed in the addition. The contractor will work with the Fire Department on the fire suppression system during sprinkler installation to obtain a plan for the fire suppression system. The gravel road north of the current site will be relocated north of the new addition for fire access. This gravel road will be maintained in the winter to keep the access open.

Lighting:

Wall mounted LED wall packs will be installed on the exterior roof line of the building that will be fixed, directed, and designed to not create a nuisance to any abutting properties.

Building Materials:

The exterior will be pre-finished metal panels that match the existing building. There are two buildings located north of the current building site and those will be removed. If the buildings are to be moved to another location on the site, they will follow setback conditions and building permit regulations or if removing the buildings, a demo permit will be required.

Sanitary Sewer:

The existing sanitary force main and water main will be removed and relocated. Princeton Public Works representative will have to be present for the relocation of the existing forcemain. The forcemain will be shut down for a period of time during this work and will need to be coordinated with Princeton Public Works representative and properties that will be neighboring properties. The plans need to reflect the conditions and conclusions of the City Engineers memo dated August 15th, 2024.

Stormwater:

The plans need to reflect the conditions and conclusions of the City Engineers memo dated August 15th, 2024.

Watermain:

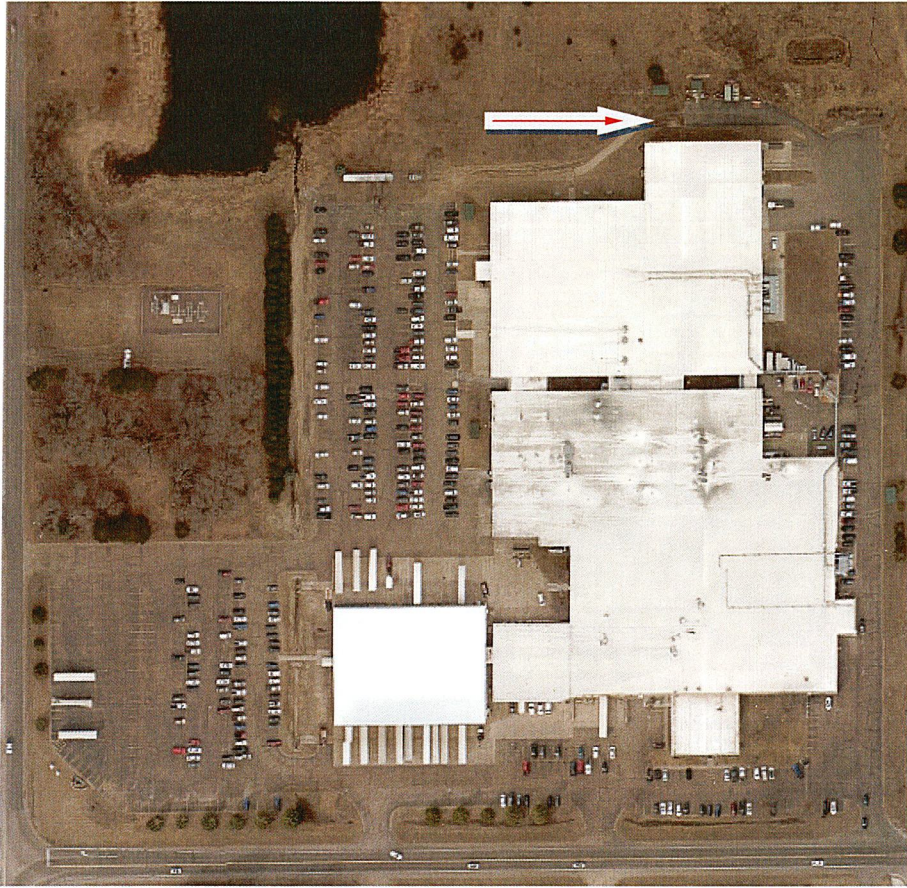
The existing watermain will be relocated and the Princeton Public Utilities will need to be present to operate valves and inspect the relocation of the existing main. If a temporary shut off to existing properties will be required with the relocation, the contractor will coordinate the shut off with existing properties and Princeton Public Utilities representative. The plans need to reflect the conditions and conclusions of the City Engineers memo dated August 15th, 2024.

The contractor will protect the existing hydrant on the north east area of the site.

Conclusion / Recommendation:

The Planning Commission on August 19th, 2024 reviewed the Site Plan for Crystal Cabinets Works, located at 1100 Crystal Drive, PID #90-00004-2301 and PID #90-00004-2302 and approved the application with the following conditions:

1. All necessary permits shall be applied for and approved prior to construction, including, but not limited to: Building Permits and Signage Permit.
2. Any work on adjacent private property, the contractor will obtain written permission from the adjacent property owner prior to any work.
3. The applicant shall replace in-kind or better all streets disturbed by this operation.
4. The contractor will repair or replace any utilities that are damaged during construction at no cost to the City.
5. The applicant will contact Gopher State One prior to construction for location of existing utilities.
6. The applicant will contact Public Works Department and Princeton Public Utilities for the removal and/or relocation connections for water, electrical, sewer, and utility meters.
7. The grass area on the lot shall be maintained for grass/weeds to be kept 6" inches or under.
8. The work shall be carried on with minimum of interference with traffic.
9. The plans need to reflect the conditions and conclusions of the City Engineer memo dated August 15th, 2024.
10. The applicant will contact the Building Official prior to removal of the two buildings for relocation permits and/or demo permits.
11. If due to weather conditions the sodding and/or seeding installation is unadvisable a separate escrow deposit be submitted prior to issuance of Certificate of Occupancy.
12. The relocation of the Drainage and Utility Easement will have to be recorded at the County.
13. Signage will need to be submitted and approved by staff and building officials prior to installation.
14. The relocated gravel road north of the proposed addition will be maintained during winter months for fire access.



Arrow shows where the proposed addition will be

Memorandum

To: Ron Molitor, Rice Companies
Steve Nelson, Rice Companies

From: Jennifer Edison, PE – WSB, City Engineer
Stacy Marquardt, Community Development Director, City of Princeton
Mary Lou Dewitt, Community Development Zoning Specialist, City of Princeton

Date: August 15, 2024

Re: Crystal Cabinet North Building Expansion

We have reviewed the preliminary Civil Plans for the Crystal Cabinet North Building Expansion, dated 7/30/24, Westwood Professional Services, and have the following comments:

Planning/Zoning

- ~~1. Show existing easements and verify that the new relocations will be located within the existing easements. Will new easements be needed?~~
- ~~2. Show the drainage ditch will be located within a drainage and utility easement.~~
- ~~3. Show landscaping plan that is referenced in grading plan notes. There should be some buffering added.~~
4. Site Plan application and \$500 escrow be submitted with plans addressing remarks by August 12th, 2024.

Watermain

5. There are multiple watermains shown on the drawing. Asbuilts show only one 10" watermain circling the building, please verify the additional watermain as shown on the drawings and label pipe size and material. Existing asbuilt drawings are included with this memo. **Provide explanation or correct on plan sheets.**
6. The PUC will need to be present (or have a representative present) to operate valves and inspect the relocation of the existing watermain. Any new watermain must have a minimum 7.5-ft depth from the top of the pipe.
7. Determine if a temporary shut off to existing properties will be required with the watermain relocation.
- ~~8. Show proposed utilities on the grading plan to see where they fall in relation to the proposed ditch bottom.~~
- ~~9. It doesn't appear the new addition will be requesting an additional water service, please verify this is the case.~~

Sanitary Sewer

10. The City will need to have a representative present for the relocation of the existing forcemain. Coordination will be required for this work as well as the forcemain will be shut down for a period of time during this work.

Stormwater

- ~~11. A stormwater review is underway; however, comments will not be available prior to the planning commission packet deadline. While I do not anticipate any major issues with stormwater that would prevent this building expansion from being approved, we will coordinate any comments directly with the engineer, and approvals will be contingent on meeting any stormwater requirements as determine by the review.~~
12. Verify existing storm sewer is in place to connect the ponds. If not, we will need to determine if its necessary to have it installed with this project. **If pipe is proposed to be installed, please label lengths, elevations (rim and invert as applicable, and pipe material).**

General

- ~~13. Verify what the new gravel drive is for? Will this proposed gravel drive be completely within the property line or will it extend into the neighboring property?~~
- ~~14. Identify building removals if applicable. The proposed gravel drive cuts through existing buildings that are not called out for removals.~~
- ~~15. See attached redlined plans for clarification to comments stated above.~~
16. Fire will work with the fire suppression system contractor during sprinkler installation to obtain a copy of the plan for the fire suppression system.



PERSPECTIVE VIEW FROM NORTHWEST

THIS DRAWING REPRESENTS DESIGN INTENT & CONCEPT ONLY. ALL 3D RENDERINGS ARE FOR PERSPECTIVE VIEW PER PROJECT SCOPE OF WORK. ACTUAL COLOR & TEXTURE OF MATERIALS CAN VARY & ARE BASED ON PHYSICAL SAMPLES ONLY.

CRYSTAL CABINET WORKS

2024 BUILDING ADDITION



A601

ARCHITECT
07.2024

REVISIONS	DATE
1	08/23/24

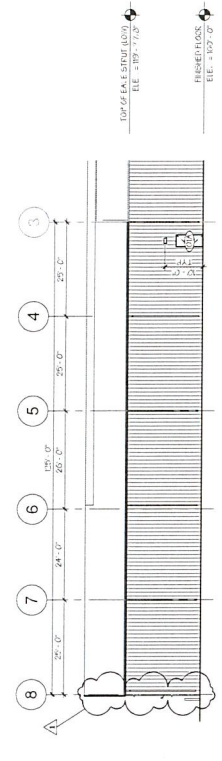
THIS SET OF PLANS IS TO BE USED FOR THE PERMITTING AND CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

D. F. Eberlin
 D. F. EBERLIN
 1100 CRYSTAL DRIVE, PRINCETON, MN 55371
 612-733-3333

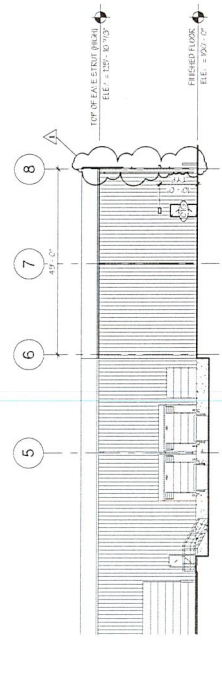
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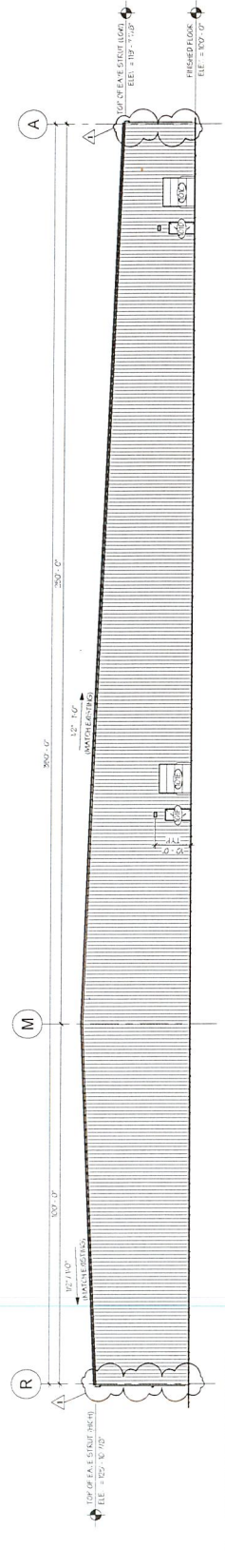
A300
 EXTERIOR ELEVATIONS



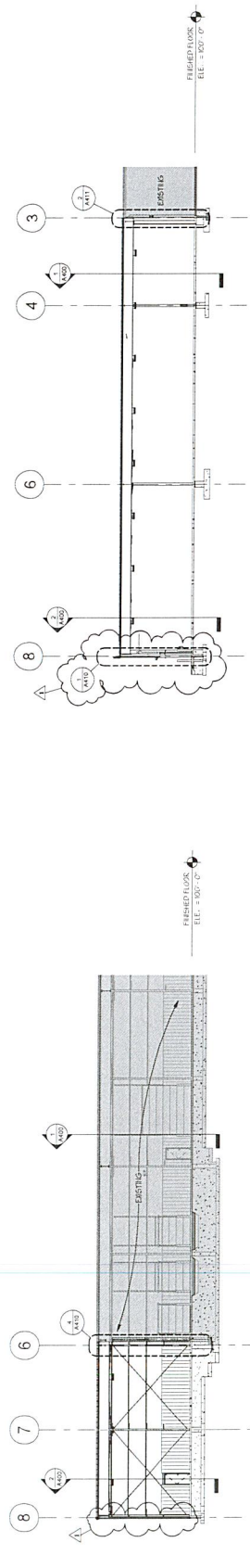
2 1/16" = 1'-0"
 EXTERIOR ELEVATION
 1/1/2024



3 1/16" = 1'-0"
 EXTERIOR ELEVATION
 1/1/2024

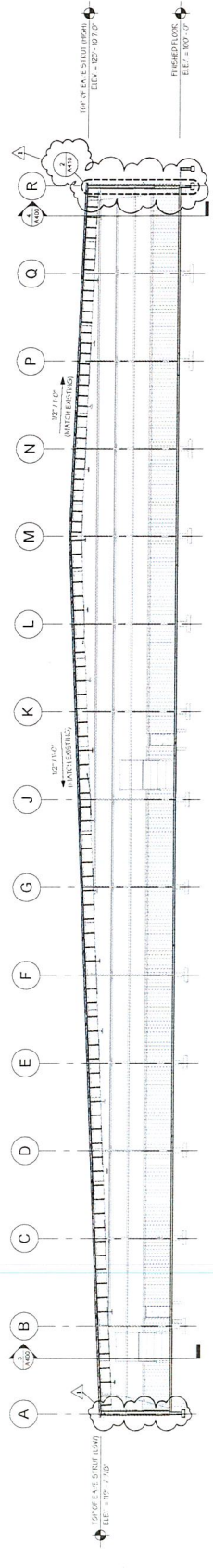


1 1/16" = 1'-0"
 EXTERIOR ELEVATION
 1/1/2024

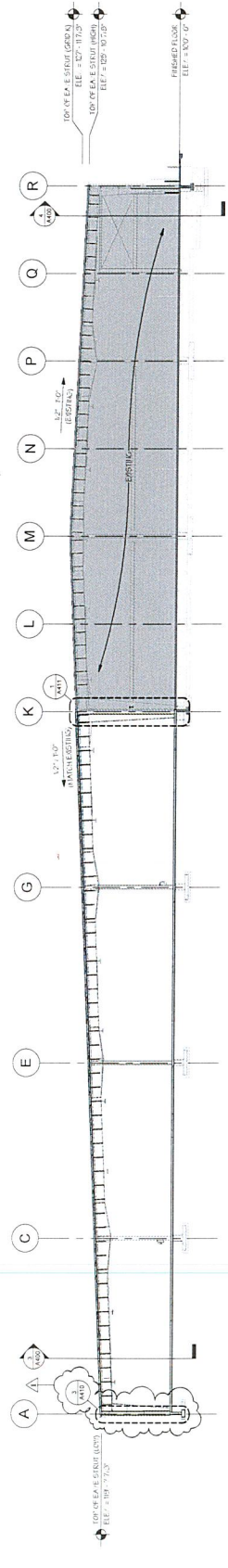


3 BUILDING SECTION
1/16" = 1'-0" 1/A201

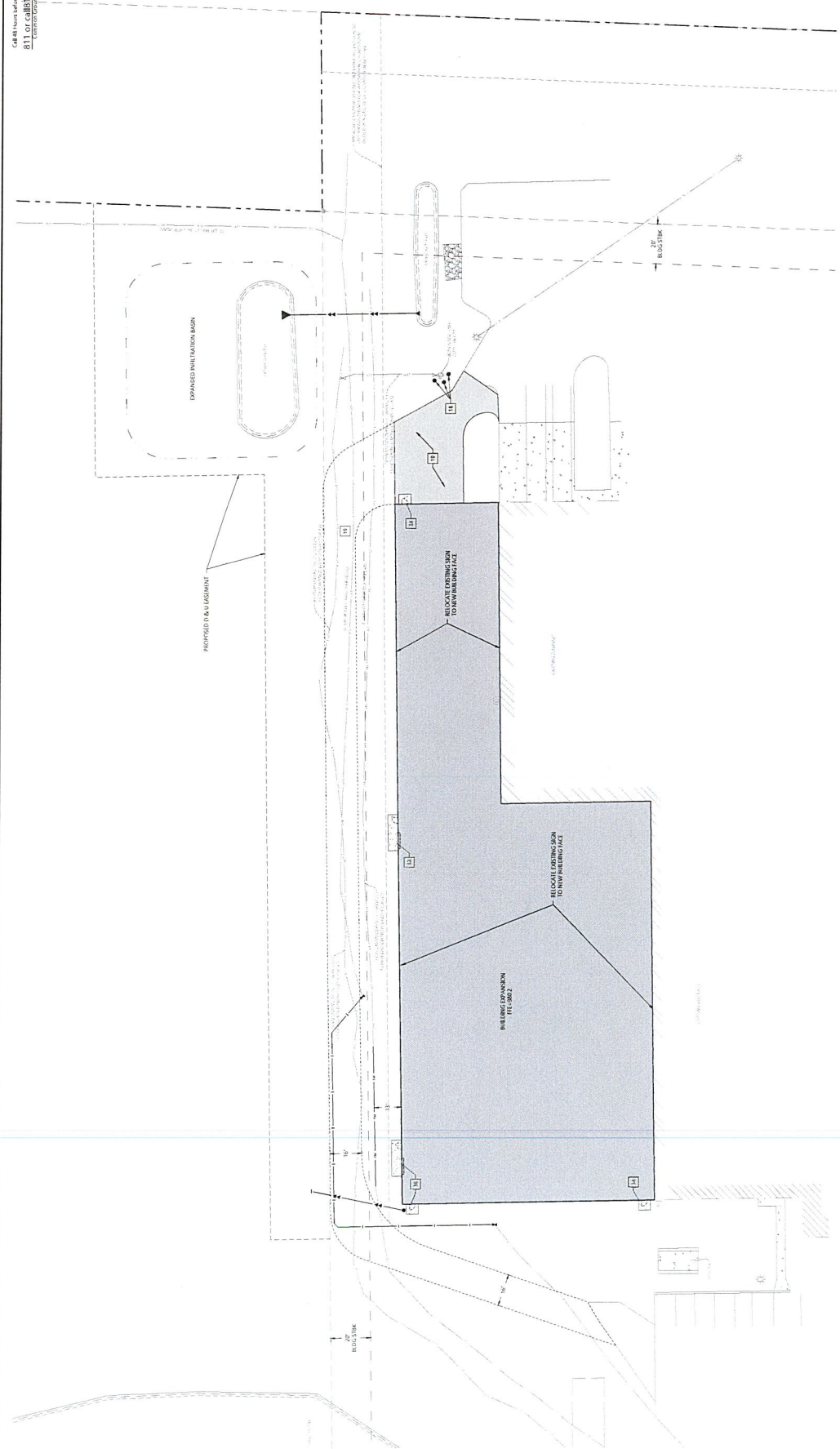
4 BUILDING SECTION
1/16" = 1'-0" 1/A201



2 BUILDING SECTION
1/16" = 1'-0" 1/A201



1 BUILDING SECTION
1/16" = 1'-0" 1/A201



SITE DEVELOPMENT SUMMARY

EXISTING ZONING	MP1 - INDUSTRIAL
PROPOSED ZONING	MP1 - INDUSTRIAL
PARCEL DESCRIPTION	PH 90-0008 2ND 1A 90-0008-13E2
PROPERTY AREA	1,429,415 SF (41.4 AC)
EXISTING IMPAVED SURFACE	69,000 SF (1.6 AC)
EXISTING ASPHALT DRIVEWAY	20,000 SF (0.45 AC)
BUILDING GROSS SIZE	281,100 SF
EXISTING GROSS SIZE	281,100 SF
LOGIC AREA MATERIALS	0.19
BUILDING SETBACK PIA CODE	40' FRONT
	20' SIDEWALK / 10' SIDE TO ROW
	10' SIDE AND ROW
	3'-SIDE AND ROW
PARKING SPACES	9' WIDE X 18' LONG, 2P ASBL
PARKING SPACES REQUIRED	CITY OF PRINCETON REQUIREMENTS
	5 - 1' (EMPHASIS ON 1' SPACE) / 1000 SF OF B/LUG
	24.0 SPACES
	50.0 SPACES
	50.0 SPACES
PARKING PROVIDED	406

SITE DETAILS (SI-0XX)

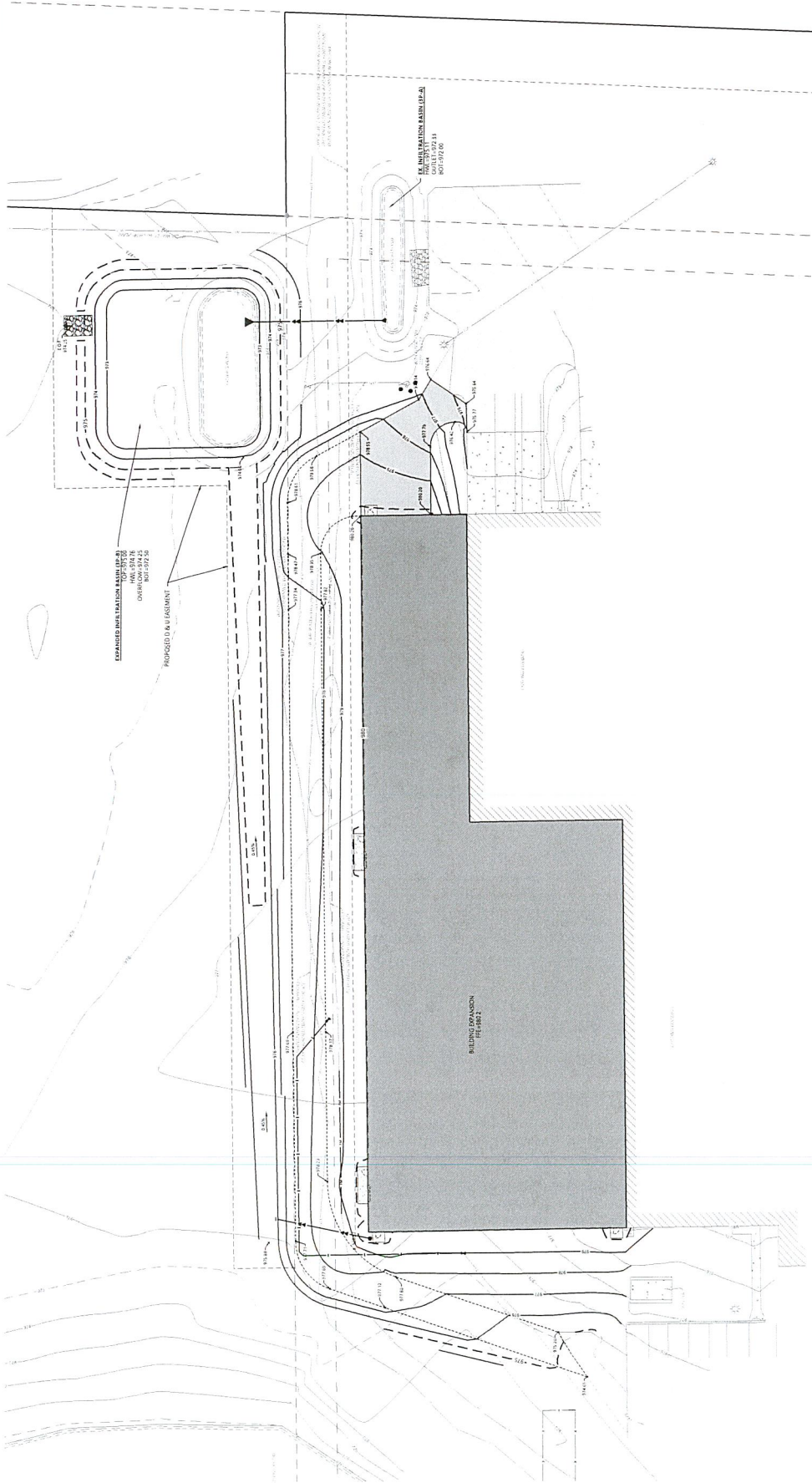
- SI-001 PARKING SPACES
- SI-002 SIDEWALK SETBACK AND LANDING

GENERAL SITE NOTES

1. SURVEYORS' INFORMATION FOR THIS PROJECT PROVIDED BY COWI & KORNBLAND.
2. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN SHALL BE USED FOR ALL CONSTRUCTION. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY THE ENGINEER PRIOR TO CONSTRUCTION. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY THE ENGINEER PRIOR TO CONSTRUCTION.
3. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
4. DIMENSIONS ARE TO FACE OF CURB ON EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF DOORS, WINDOWS, AND TRUCK DOCKS.
6. ALL CURB RAMP ARE SHALL BE 8" STEEP TO FACE OF CURB UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND MAINTAINING TRAFFIC CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MOVEMENT OF TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MOVEMENT OF TRAFFIC THROUGHOUT THE CONSTRUCTION PERIOD.
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10. SEE NOTES FOR SITE LIGHTING, SIGNAGE, AND PHOTOGRAPHS.

SITE LEGEND

PROPERTY LINE	---
LOT LINE	---
BASEMENT LINE	---
CURB AND GUTTER	---
TOP OF CURB AND GUTTER	---
EXISTING ASPHALT DRIVEWAY	---
EXISTING ASPHALT DRIVEWAY	---
FENCE	---
CONCRETE PAVEMENT	---
CONCRETE DRIVEWAY	---
REINFORCED CONCRETE	---
NUMBER OF PARKING SPACES	---
SPACED	---
TRAFFIC SIGN	---
POWER POLE	---
ISLAND / PILE	---



INFILTRATION/INFILTRATION BASIN NOTES

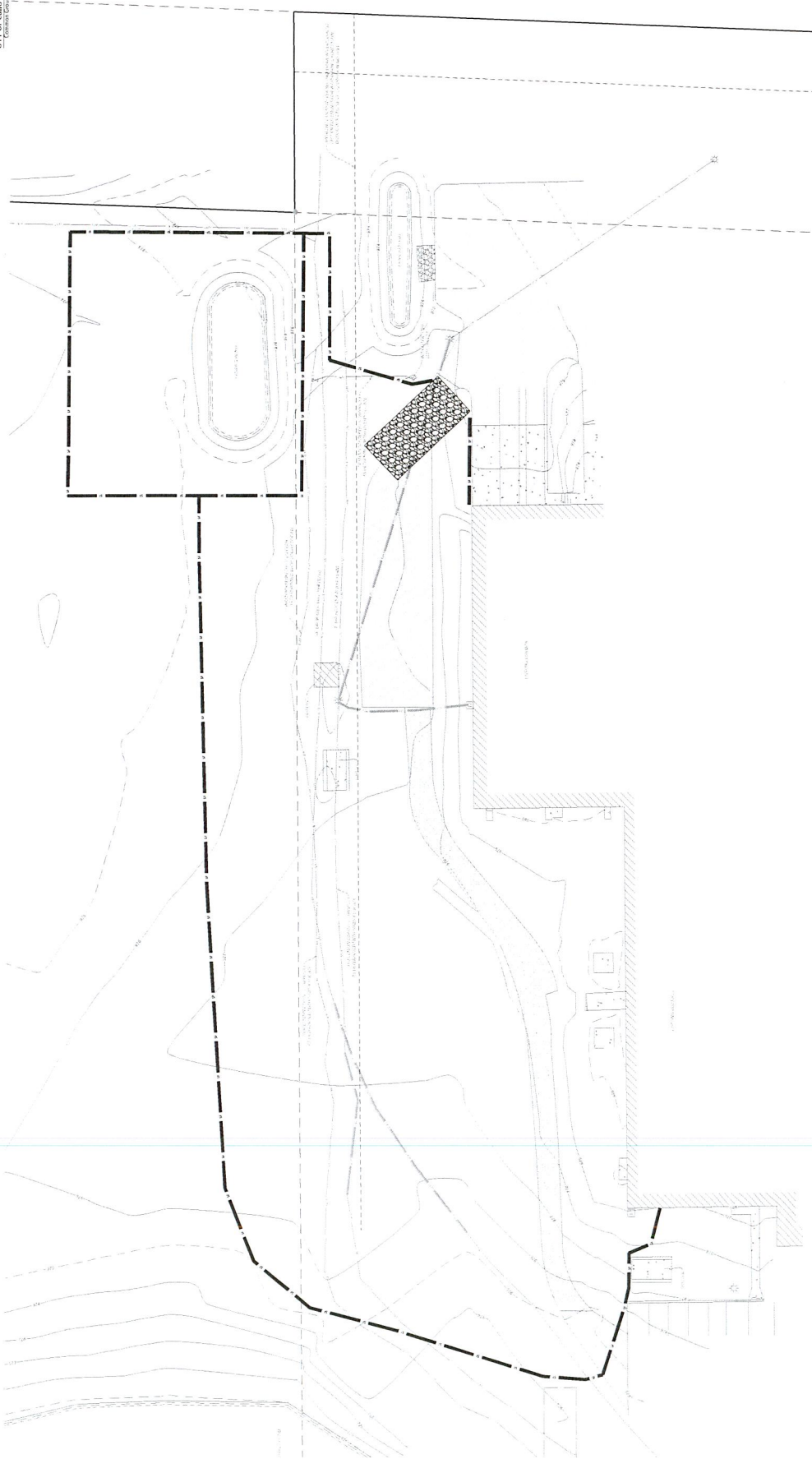
1. ALL INFILTRATION/INFILTRATION BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PRINCETON, MINNESOTA, ORDINANCE 10.01, AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, SECTION 10.01.01. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PRINCETON, MINNESOTA, AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION.
2. THE INFILTRATION/INFILTRATION BASINS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF 1/2" GRADE SAND OVER THE FILTER MEDIA. THE SAND SHALL BE PLACED IN 6" LAYERS AND COMPACTED TO 95% RELATIVE DENSITY. THE SAND SHALL BE PROTECTED FROM CONTAMINATION BY THE SURFACE GRADE AND SHALL BE MAINTAINED AT ALL TIMES.
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GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF PRINCETON, MINNESOTA, ORDINANCE 10.01, AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, SECTION 10.01.01. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PRINCETON, MINNESOTA, AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION.
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GRADING LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	BRICK CONTOUR
---	CONCRETE CURB AND GUTTER
---	POD AND WATER LEVEL
---	SEWER MAIN
---	WATER MAIN
---	STORM SEWER
---	RETAINING WALL
---	ROCK FILL
---	GRADING (BETS)
---	FLOOR ELEVATION
---	TOP AND BOTTOM OF RETAINING WALL
---	EMERGENCY CUTTER LOW
---	SEE BENCHMARK LOCATION



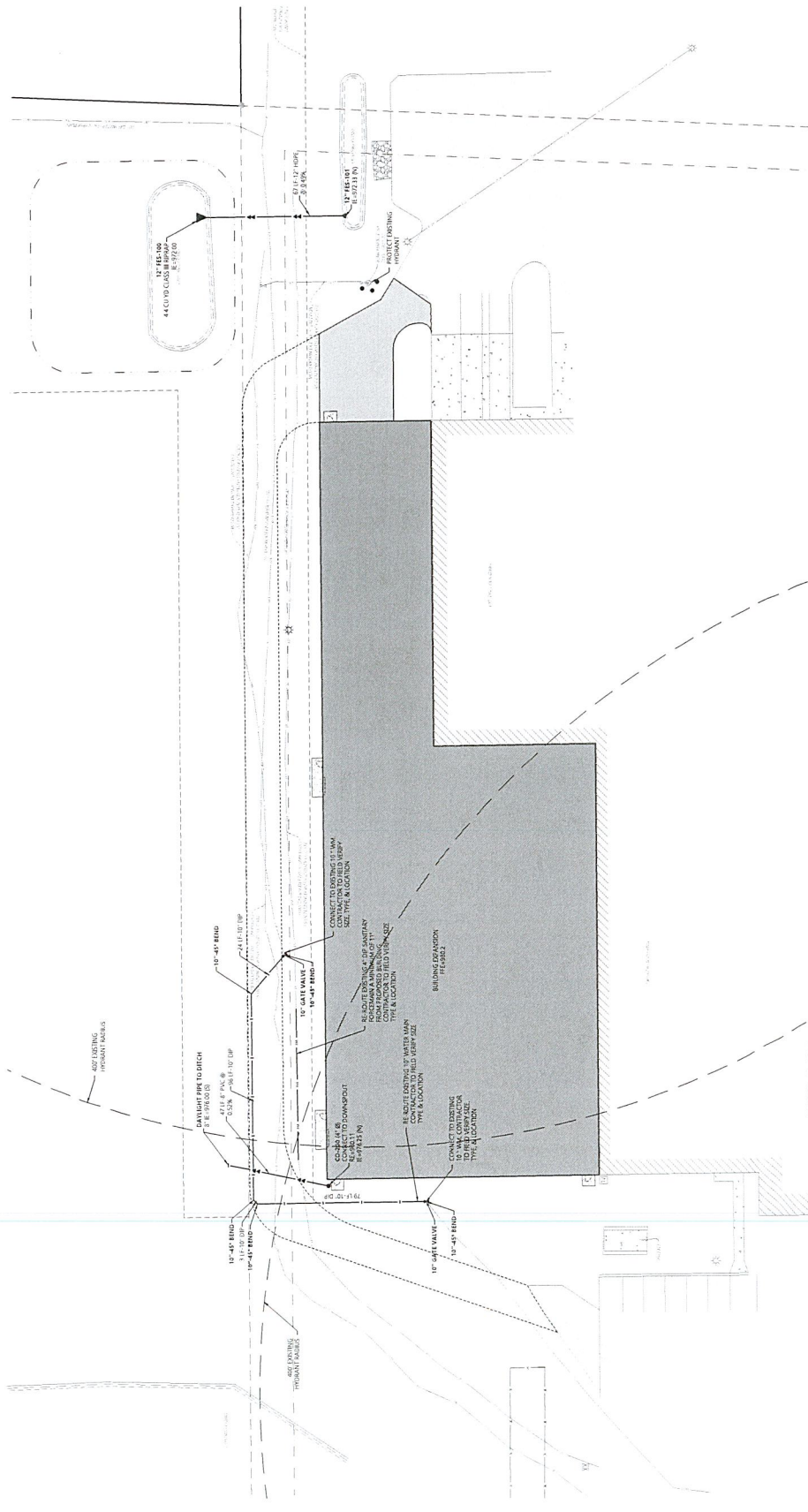
EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
(Solid line)	PROPERTY LINE
(Dashed line)	EXISTING CONTOUR
(Dotted line)	PROPOSED CONTOUR
(Line with 'X' marks)	CURB AND GUTTER
(Line with 'W' marks)	FOND NORMAL WATER LEVEL
(Line with 'S' marks)	SILT FENCE
(Line with 'F' marks)	STORM FENCE
(Line with 'R' marks)	REDUNDANT SILT CONTROL
(Line with 'S' marks)	SEDIMENT BASIN
(Line with 'H' marks)	HAIRED END SECTION WITH HEMPIP
(Line with 'S' marks)	STABILIZED SANDY BANK
(Line with 'D' marks)	DRAIN TIE
(Line with 'L' marks)	LOCK CONSTRUCTION ENTRANCE
(Line with 'E' marks)	EROSION CONTROL BLANKET
(Line with 'T' marks)	TEMPERATURE CONTROL MAT
(Line with 'E' marks)	EMERGENCY CONSTRUCTION
(Line with 'S' marks)	SOIL BERING LOCATION
(Line with 'P' marks)	INLET PROTECTION

GENERAL EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
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FOR PERMIT APPROVAL



GENERAL WATERMAIN & SANITARY SEWER NOTES

- THE CONTRACTOR IS STRONGLY CAUTIONED THAT THE LOCATION AND DEPTH OF ALL UTILITIES SHALL BE DETERMINED BY THE CITY ENGINEER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
- ALL SANITARY SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY ENGINEER APPROVED. ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS.
- BEFORE CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS, EASEMENTS AND RECORDS FROM THE CITY ENGINEER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
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- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CITY ENGINEER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
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SANITARY SEWER AND WATERMAIN LEGEND

SYMBOL	DESCRIPTION
(Symbol)	PROPERTY LINE
(Symbol)	EASEMENT LINE
(Symbol)	SANITARY SEWER
(Symbol)	SANITARY SEWER FORCE MAIN
(Symbol)	STORM SEWER
(Symbol)	WATERMAIN
(Symbol)	GAS
(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	UNDERGROUND TELEPHONE
(Symbol)	UNDERGROUND TELEPHONE
(Symbol)	TELEPHONE FIBER OPTIC
(Symbol)	TELEPHONE
(Symbol)	GATE VALVE
(Symbol)	FLARED END SECTION (WITH REPAIR)
(Symbol)	RIGHT POLE



FOR PERMIT APPROVAL



Westwood
ENGINEERING & ARCHITECTURE
10000 UNIVERSITY AVENUE, SUITE 100
MINNETONKA, MN 55345
TEL: 952.895.1234
WWW.WESTWOODENR.COM

NO.	REVISION
1	ISSUED FOR PERMIT
2	REVISED PER CITY ENGINEER COMMENTS

